

## General Notes

Existing garage structure to be demolished complete and floors/foundations broken out as necessary.

If asbestos or any other dangerous material is evident, this should be safely removed and taken from site by an Approved Contractor.

Remove external chimney stacks and make good remaining walls/roof.

Walls and partitions carefully demolished as indicated. Provide suitable beams/intels to be confirmed by structural engineer. Building Contractor to investigate on site partitions that may be loadbearing prior to their removal. Provide adequate support of the remaining structure and protection from the weather and for security purposes for the duration of the building works.

Check and confirm (structural engineer) that any lintels below new structure are adequate to carry increased loads as applicable.

Existing partitions to be investigated on site by building contractor to establish if they are loadbearing.

Remove existing fixtures and fittings check exposed structure and make good any defects as required.

Make good remaining walls, floors and ceilings in location of alterations.

Form straight expansion joint at the junction with the existing walls utilising s/s furrif profiles. Vertical joint pointed up with polysulphide sealant.

New floors to match existing level. Confirm final finishes thickness relative to door threshold.

External works to be confirmed with the client. Allow for a minimum making good to current surfaces.

Carbon monoxide detector, wall mounted between 1m & 3m from the appliances and minimum of 300mm from the wall.

IP rated wall mounted lighters, with cold white led bulbs (warm to client instruction). Fitting to client specifications or sample approval.

IP rated soffit down lighters such as Robus Tri-Led RF9LED-CW, as cold white (warm to client instruction) complete with optional bezels to rear extension soffit.

D.P. cavity trays to be provided over lintels to all ground floor openings.

All existing timber is to be checked for decay, structural instability, damp and insect attack. Replace and treat as may be required, specialist surveys to be carried out all work to be backed with insurance guarantees.

Strip out all existing timber work in rooms affected by new works and replace with new mdf skirtings, architraves and window boards, to clients approval of samples.

Skirtings. All woodwork should be primed and painted in satin or gloss to clients instructions.

Client to specify windows, doors, ironmongery, sanitary ware etc. Adapt skirtings and window boards to client instruction.

All woodwork should be primed and painted in satin or gloss to clients instructions.

Allow for white upvc windows and doors to satisfaction of client.

Trickle ventilators minimum 2500mm<sup>2</sup> equivalent free flow area to extension. Mastic seals provided to front and back of frames.

Windows, doors and rooflights to achieve U value of 1.6W/m<sup>2</sup>K minimum 16mm air space and low-E glass.

Opening areas to be at least 1/20th of room area to meet purge ventilation requirements of 4 acph.

A detailed survey and test of the existing electrical installation should be carried out and remedial works and upgrading completed as required. Alter power and lighting circuits as required and provide new to client requirements. All electrical work to meet requirements of Part P (electrical safety) designed, installed, inspected and tested by a person competent to do so.

prior to completion building control must be satisfied that an appropriate electrical installation certificate has been issued for the work, and it has been signed by a person competent to do so.

All new cover plates should be white plastic MK type. All switches and sockets to be 450-1200mm above floor level.

All redundant wiring should be stripped out from walls floor and loft spaces.

New internal light fittings to take energy efficient lamps.

Heating and hot water systems extended into extensions to client specification. Thermostats to new radiators.

Client and heating engineer to confirm if existing gas boiler is to be replaced and relocated into scullery.

Modify pipework to suit.

Insulate pipes with minimum 40mm foam lagging.

The existing plumbing pipe work that will remain should be suitably power flushed, before the installation of any new radiators etc. Any existing radiators are to be removed cleaned and redecorated, they should be reinstalled with new TRVs if the existing are old or defective in any way, provide new valves and pipe trims where flow and return pipes are exposed. It may be required to replace a significant part of the flow and return system to suit the single operation of the heating. New detailed design to be carried out by a suitably qualified heating engineer.

Fan extracts to connect to tile ventilators via flexible ducts or wall louvers as indicated.

Plasterboard linings to ensuite to be moisture resistant type to face of studs prior to plasterboarding a 15mm thick MDF board to allow secure fixings.

Plasterboard partitioning to be Sound block to all other areas with cavity filled with a dense Rockwool insulation.

If doors are to be partially glazed to new rooms ensure toughened glass is provided. Doors upgraded to half hour fire resisting where indicated.

Adopt 15mm fireline plasterboard to stud work forming staircase enclosure to provide 30 minutes fire resistance.

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## Wall Key

EXTERNAL WALL (Brickwork)  
315mm o/s (structural)  
102.5mm Facing brickwork outer leaf  
100mm Dritherm 32 full fill cavity  
100mm Medium density blockwork  
12.5+2mm Plasterboard on dabs and skim

EXTERNAL WALL (Brickwork)  
Infill studs with 100mm Celotex rigid board insulation, and cover room face of studs with a further 25mm Celotex and vapour control layer. Create a service cavity formed with 25mm timber battens then cover with 12.5mm plasterboard with a skim finish.

LOAD BEARING STUD WALLS  
Studs to engineers details. Infill studs with 100mm Celotex rigid board insulation, and cover room face of studs with a further 25mm Celotex and vapour control layer. Create a service cavity formed with 25mm timber battens then cover with 12.5mm plasterboard with a skim finish.

INTERNAL WALL  
100mm Non load bearing timber stud partition with 12.5mm plasterboard either side.  
(Note moisture resistant sound board to wet areas).

NOTE:  
REFER TO STRUCTURAL ENGINEERS DETAILS AND SPECIFICATION BLOCKWORK STRENGTHS AND LOCATIONS.

## General Notes

1. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO STRUCTURAL FACE AND OPENINGS.

2. SECTION REFERENCE SHOWN THUS:

SECTION LETTER  
DRAWING NUMBER

3. ABBREVIATIONS KEY:

RWP = RAINWATER PIPE  
SVP = SOIL VENT PIPE  
SS = STUB STACK  
DP = DRAINAGE POINT  
MJ = MOVEMENT JOINT  
BF = BOILER FLUE  
KE = KITCHEN EXTRACT  
WE = WC EXTRACT  
BE = BATHROOM EXTRACT  
UE = UTILITY EXTRACT  
EE = EN SUITE EXTRACT  
F/F = FRIDGE FREEZER  
W/M = WASHING MACHINE  
D/W = DISH WASHER

## LEGEND

- Surfact mounted ceiling rose.
- Fluorescent Light Fitting.
- Recessed luminaire such as Aurora SOLA AU-DLM531 or AU-DLM532 for directional, fire rated and part L1 compliant.
- External Light to client specification
- One way lighting switch
- Two way lighting switch
- One way pull chord lighting switch
- Lighting control pir movement sensor
- Smoke detector and sounder/beacon base combined
- Fixed temperature heat detector and sounder base combined
- Carbon Monoxide detector and sounder combined.
- Intruder alarm control panel
- Velux auto control module
- Distribution Board
- 13A Switched fused connection unit serving unswitched sso below
- 20A Outdoor supply terminating with IP65 switch
- 13A Twin switched socket outlet
- Tv Co-axial socket
- 13A Switched fused spur outlet
- 5A Lamp circuit switched socket outlet
- Twin rj45 outlet
- Panel radiator size by specialist.
- Central heating boiler.
- Central heating thermostat.
- Central heating Programmer.

225x300x10mm thick welded cap. Beam to be fixed down using 4No. M120 (8.8) bolts (see detail above).

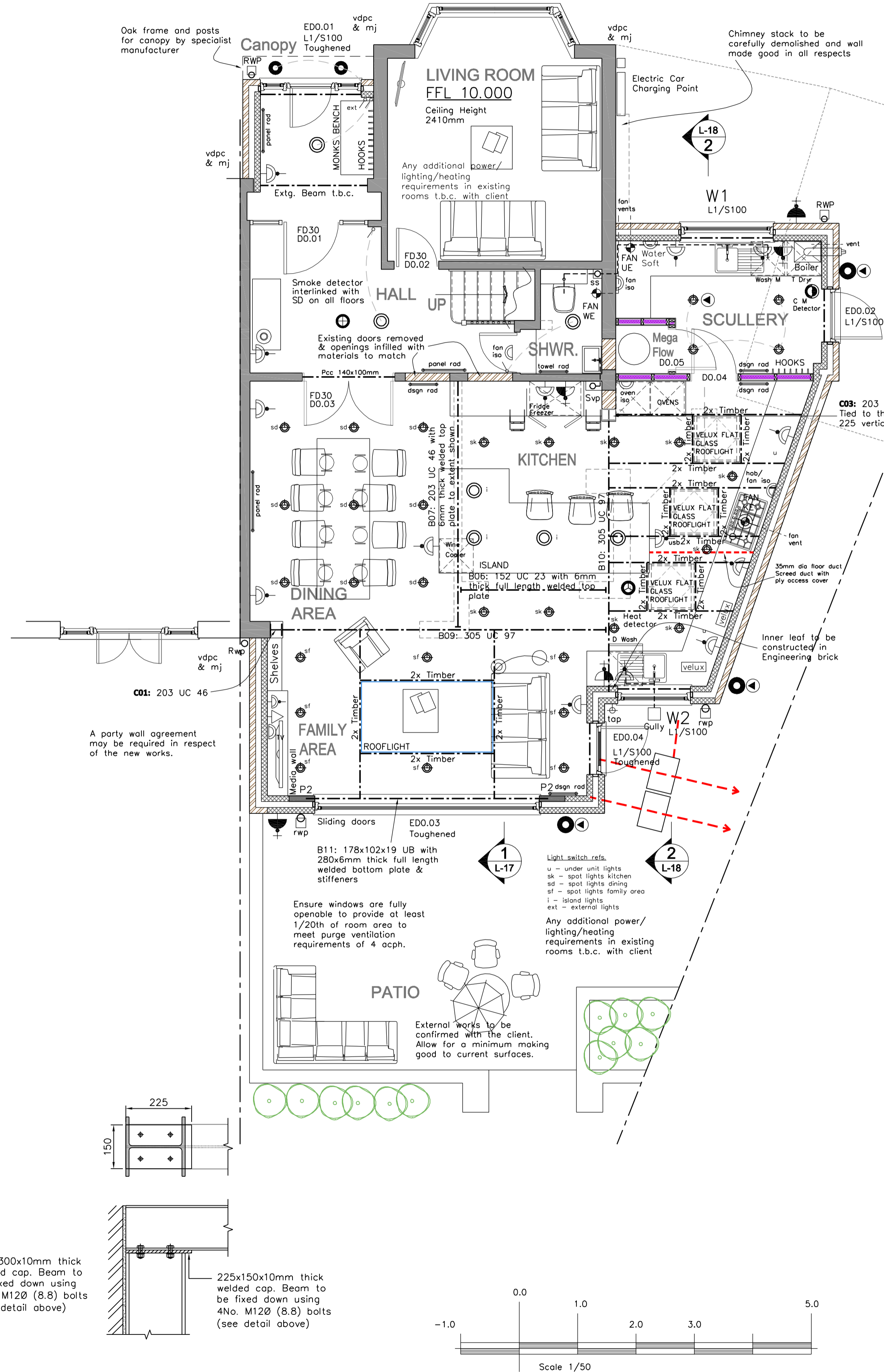
225x150x10mm thick welded cap. Beam to be fixed down using 4No. M120 (8.8) bolts (see detail above).

**C01: 203 UC 46 Cap Plate Detail (Scale 1:10)**

**C02: 203 UC 46 Cap Plate Detail (Scale 1:10)**

## PROPOSED GROUND FLOOR GENERAL ARRANGEMENT PLAN.

# SAMPLE DRAWING



Existing garage structure to be demolished and floor/foundations broken out as necessary.

If asbestos or any other dangerous material is evident, this should be safely removed and taken from site by an Approved Contractor.

Kitchen to have hob extraction min. 30 litres/sec or 60 litres/sec elsewhere. 40mm polypropylene wastes to sink and dishwasher. All fittings provided with 75mm deep seal traps. Waste runs to new external gully.

Existing kitchen units, fittings and appliances stripped out together with associated waste pipes and carted away.

Break out manhole in kitchen, redundant gully and remove svp. Redundant below ground drains broken out or sealed with concrete.

Tiles removed from walls which are to be re-skimmed if necessary and decorate to client specification. Provide skirting boards, architraves etc to match existing.

Scullery to be provided with mechanical ventilation 30l/s with 15 minute overrun. 40mm polypropylene waste to sink and washing machine. Waste runs to new soil stack in shower room.

Shower room to be provided with mechanical ventilation 15l/s with 15 minute overrun. Box in ducting at high level. 40mm polypropylene waste to shower. 32mm polypropylene waste to basin. 100mm pvc waste to wc. All waste runs to new soil stack fitted with air admittance valve above spillover level of highest appliance. All fittings provided with 75mm deep seal traps.

Underfloor heating t.b.c. with client for extension areas and existing house.

Consider underfloor heating system such as Nu-Heat LoPro Max to client specification.

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ALL DIMENSIONS AND LEVELS ARE SUBJECT TO A THOROUGH AND ACCURATE ON SITE CHECK BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORKS.

ALL SIZES OF STRUCTURAL COMPONENTS ARE TO BE VERIFIED BY A STRUCTURAL ENGINEER.

ELECTRICAL INSTALLATION OR MODIFICATIONS, MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND C OF PS AND ARE TO BE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND SUITABLE FOR PURPOSES OF THE WORKS. IN ADDITION THEY MUST COMPLY WITH THE 17TH EDITION OF THE IEE REGULATIONS INCLUDING AMENDMENTS 1 & 2, THE LOCAL ELECTRICITY SUPPLY AUTHORITY, BRITISH TELECOM, THE BUILDING REGULATIONS LATEST AMENDMENTS.

PLEASE NOTE ELECTRICAL CONTRACTORS MUST BE MEMBERS OF THE NATIONAL INSPECTION COUNCIL FOR ELECTRICAL INSTALLATION & CONTRACTING (NICIC) & THE ELECTRICAL CONTRACTORS ASSOCIATION.

MECHANICAL INSTALLATION OR MODIFICATION, INCLUDING HEATING & HOT AND COLD WATER AND VENTILATION SERVICES TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CIBSE GUIDE AS PRODUCED BY THE CHARTERED INSTITUTE OF BUILDING SERVICES ENGINEERS & TO CURRENT BS SPECIFICATION. IN ADDITION THEY MUST COMPLY WITH THE LOCAL WATER COMPANY BYELAWS, THE CIBSE GUIDE AND C OF PS, THE LATEST EDITION OF THE BUILDING REGULATION APPROVED DOCUMENTS AND ALL NATIONAL AND LOCAL REGULATIONS.

ALL WORKS ARE TO COMPLY WITH THE LATEST REVISION OF THE BRITISH STANDARDS.

THE CLIENT OR APPOINTING AGENT SHOULD ADVISE OF ANY KNOWN BURIED SERVICES AND DRAINAGE LOCATION OR RESTRICTIVE COVENANTS.

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL PLAN DRAWINGS & DOCUMENTS RELATING TO THE WORKS. DO NOT SCALE FROM THIS DRAWING, EXCEPT FOR PLANNING PURPOSES.

## CDM Regulations 2015 : Designers' Notes on Significant Residual Risks

1.

These notes relate solely to information shown on this drawing. Only significant risks which are considered to be unusual, or unlikely to be obvious to a competent contractor or other designer will be highlighted. This information may be subject to revision as the design develops.

Refer also to Drawings

VERIFICATION STATUS	Verified by	Date
INFO/DESIGN		
PLANNING		
BUILDING CONTROL		
CONSTRUCTION		

No	Revision	Date	Drn	Chk

# SAMPLE DRAWING



**EAGLE DESIGN + BUILD**

**EAGLE DESIGN + BUILD LTD**

Drng No.	Client:
Scale @ A1	Project Title:
1/50	Proposed Side, Rear & Loft Extensions
Date: Feb 21	Drawing Title:
Drawn by: Paul	Proposed Ground Floor General Arrangement Plan
Checked: PAH	
File:	