

**SUBJECT TO BUILDING CONTROL APPROVAL**

DESIGN RISK REGISTER AVAILABLE TO CONTRACTOR ON REQUEST.

REFER TO STRUCTURAL ENGINEERS SPECIFICATIONS, CALCULATIONS AND DETAILS FOR ALL STRUCTURAL ELEMENTS.

RAINWATER FROM NEW EXTENSION TO BE CONNECTED TO A NEW RAINWATER BOX SOAKAWAY SYSTEM SUCH AS STORMCELL OR POLYSTORM OR SIMILAR.

IN ORDER TO DETERMINE IF A SOAKAWAY IS SUITABLE FURTHER SITE INVESTIGATIONS SHOULD ASSESS;

- THE SOIL ON THE SITE IS SATISFACTORY FOR INFILTRATION,
- THE SITE IS NOT FILLED GROUND,
- THE SITE DOES NOT SLOPE TOWARDS BUILDINGS
- THE WATER TABLE IS NOT TOO HIGH,
- THE SOAKAWAY MUST BE LOCATED MIN 5M AWAY FROM ANY BUILDINGS.

WHERE A SOAKAWAY PROVES UNSUITABLE, CONNECT DRAINAGE TO EXISTING SYSTEM AS INDICATED.

EXTERNAL FEATURES AND LEVELS SHOWN HERE INDICATIVELY. ALL LEVELS TBC ON SITE PRIOR TO COMMENCING WORK.

CARRY OUT A FULL DETAILED ABOVE & BELOW GROUND DRAINAGE SURVEY TO ASCERTAIN ALL EXISTING PIPE ROUTES, CONDITIONS & INVERT LEVELS PRIOR TO STARTING WORKS.

INVESTIGATE EXISTING BUILDING CONSTRUCTION THROUGHOUT AND LIAISE WITH STRUCTURAL ENGINEER BEFORE COMMENCING WORKS.

ASSESS INCOMING SERVICES AND CONFIRM THEIR ON SITE POSITIONS. ANY SERVICES TO BE RELOCATED, OR NEW SERVICES CONNECTED TO SITE TO BE BY THE RESPECTIVE SERVICE PROVIDER. CONTRACTOR TO LIAISE WITH ALL SERVICE PROVIDERS AND ADVISE FOR NECESSARY FACILITATING WORKS. ENSURE NEW METERING OF ALL SITE SERVICES. METER POSITIONS TBC ON SITE, TO BE EASILY ACCESSIBLE. REDUNDANT ITEMS TO BE REMOVED. ALL SERVICES TO BE ISOLATED AS REQUIRED TO ALLOW FOR SAFE WORKING. FINAL SERVICE PIPES, CABLES / CONDUITS ETC. TO BE LABELED FOR EASE OF FUTURE IDENTIFICATION.

ALL WORKS TO THE GAS SERVICE ARE TO BE CARRIED OUT BY AN APPROPRIATELY QUALIFIED & 'GAS SAFE' REGISTERED PLUMBING ENGINEER.

ELECTRICAL WORKS TO BE CARRIED OUT BY A 'QUALIFIED PERSON' AS DEFINED IN ADP. A BS 7671 ELECTRICAL INSTALLATION CERTIFICATE INDICATING THAT TESTING + INSPECTION OF THE INSTALLATION HAS BEEN CARRIED OUT MUST BE PROVIDED TO THE BUILDING CONTROL OFFICER. ALL NEW WIRING TO BE ROUTED OUT OF VIEW WITHIN STUD WALLS / BELOW FLOORS / ABOVE CEILINGS ETC TO EACH OUTLET.

ALL WIRING OF THE FIRE SAFETY + ALARM SYSTEM(S) & ASSOCIATED WARNING DEVICES SHOULD BE IN ACCORDANCE WITH BS 5839:PART 6. ALL WORKS TO THE GAS SERVICE ARE TO BE CARRIED OUT BY AN APPROPRIATELY QUALIFIED AND 'GAS SAFE' REGISTERED PLUMBING ENGINEER. GAS SAFETY CERTIFICATION TO BE PROVIDED TO THE INSPECTOR PRIOR TO COMPLETION.

ALL NEW GLAZING TO BE FENSA APPROVED. GLAZING IN CRITICAL LOCATIONS SHOULD BE SAFETY GLASS / LAMINATED IN ACCORDANCE WITH BS 6206

NEW BEAM AND BLOCK FLOOR TO CHOSEN MANUFACTURERS DETAILS.

REAR RAISED TERRACE SYSTEM TO BE IN ACCORDANCE WITH BS 6229:2018. TO BE BLOCK AND BEAM CONSTRUCTION WITH TERRACE DECK LAID TO FALL TO RAINWATER OUTLETS TO REAR AND APPROPRIATELY WATERPROOFED WITH SUITABLE WATERPROOF ROOF LAYER MINIMUM 75MM BELOW THE UNDERSIDE OF THE DOOR SILL. OVER DECK PROVIDE PEDESTAL PAVING SYSTEM ENSURING A 10MM GAP BETWEEN THE PAVING AND PERIMETERS AND 5MM BETWEEN PAVERS. DOOR TO HAVE A PROJECTING SILL WITH DRIP CLEAR OF WALL UPSTAND. PROVIDE ADEQUATE RAINWATER DRAINAGE DISCHARGING TO NATURALLY DRAINING PLANTING AREAS. INCLUDE OVERFLOW PIPE OUTLETS MINIMUM 25MM BELOW THE UNDERSIDE OF THE DOOR SILL TO ACT AS A BLOCK WARNING.

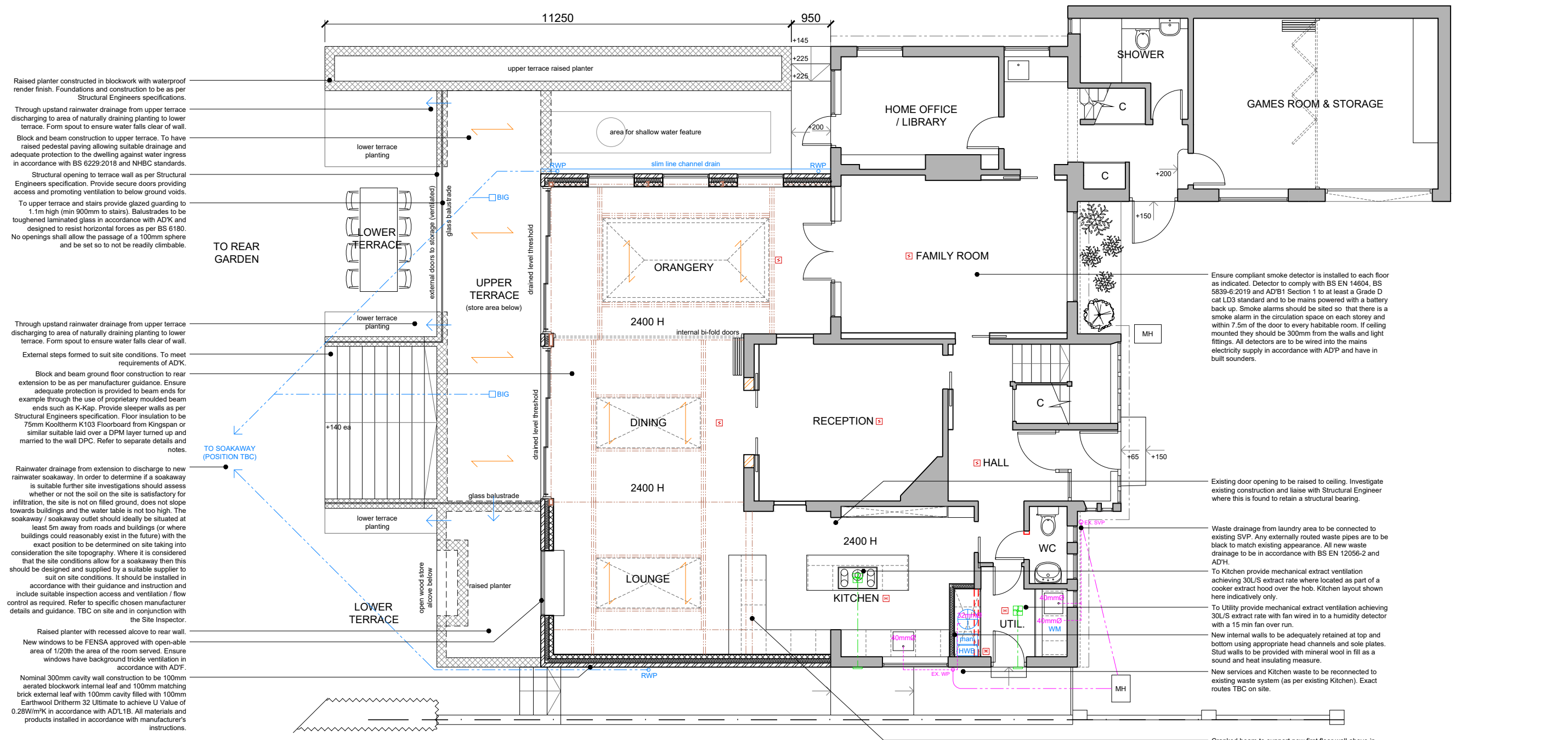
INSULATION PRODUCTS HAVE BEEN SUGGESTED, HOWEVER ALTERNATIVE PRODUCTS MAY BE USED. CONTRACTOR SHOULD BE AWARE THAT ALTERNATIVE PRODUCTS MAY REQUIRE DIFFERENT THICKNESSES.

CAVITY INSULATION SHOULD BE PROTECTED AGAINST THE EFFECTS OF WEATHER DURING CONSTRUCTION. INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS & GUIDANCE. MEASURES SHOULD BE TAKEN TO PREVENT COLD BRIDGING AT OPENINGS BY USING INSULATED CAVITY CLOSERS / USING A ROBUST DETAIL.

**Legend**

|  |                                  |  |                         |  |                               |
|--|----------------------------------|--|-------------------------|--|-------------------------------|
|  | New Insulated Stud Partitions    |  | Extractor Fan           |  | Electrical CCU                |
|  | New Un-insulated Stud Partitions |  | Extract Ducting         |  | Inspection Chamber / Manhole  |
|  | Brick Wall / Leaf                |  | Hot Water Boiler        |  | Soil and Vent Pipe            |
|  | Block Wall / Leaf                |  | Unvented Water Cylinder |  | Internal Air Admittance Valve |
|  | Fire Door Rating                 |  | U/FH Manifold           |  | Rainwater Pipe                |
|  | Smoke Detector with Sounder      |  | Washing Machine         |  | New Waste Pipe Below Ground   |
|  | Heat Detector with Sounder       |  | Dish Washer             |  | New Waste Pipe Above Ground   |
|  | Carbon Monoxide Detector         |  | Gas Meter & Shut Off    |  | Structural Member             |
|  | Sedum Green Roof Area            |  | Pebble Border           |  |                               |

SAMPLE DRAWING



GROUND FLOOR PLAN

Ensure compliant smoke detector is installed to each floor as indicated. Detector to comply with BS EN 14604, BS 5839-6:2019 and AD/B1 Section 1 to at least a Grade D cat LD3 standard and to be mains powered with a battery back up. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on each storey and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. All detectors are to be wired into the mains electricity supply in accordance with ADP and have in built sounders.

Existing door opening to be raised to ceiling. Investigate existing construction and liaise with Structural Engineer where this is found to retain a structural bearing.

Waste drainage from laundry area to be connected to existing SVP. Any externally routed waste pipes are to be black to match existing appearance. All new waste drainage to be in accordance with BS EN 12056-2 and AD/H.

To Kitchen provide mechanical extract ventilation achieving 30L/S extract rate where located as part of a cooker extract hood over the hob. Kitchen layout shown here indicatively only.

To Utility provide mechanical extract ventilation achieving 30L/S extract rate with fan wired in to a humidity detector with a 15 min fan over run.

New internal walls to be adequately retained at top and bottom using appropriate head channels and sole plates. Stud walls to be provided with mineral wool in fill as a sound and heat insulating measure.

New services and Kitchen waste to be reconnected to existing waste system (as per existing Kitchen). Exact routes TBC on site.

Cranked beam to support new first floor wall above in accordance with Structural Engineers specifications.

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**BUILDING CONTROL PLANS**

SITE ADDRESS:  
CLIENT:

PROJECT START: FEB 2021  
DRAWING DATE: JANUARY 2022  
SCALE: 1:100 @ A3; 1:50 @ A1

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